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Upper Darby Township Council Meeting
May 26, 2021

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MINUTES FOR COUNCIL MEETING OF MAY 26, 2021

The video of this meeting can be viewed in its entirety on youtube.com/upperdarby.org

Pledge of Allegiance to the flag of the United States of America

Moment of Silence

Opening of Meeting

Roll Call

Hafiz Tunis Jr. (HT), Bob Gwin (RG), Michelle Billups (MB), Matt Silva (MS), Danyelle Blackwell (DB), Brian K. Burke (BB), Sheikh Siddique (SS), Lisa Faraglia (LF), Donald P. Bonnet (DPB), Thomas P. Wagner (TW), Laura A. Wentz (LW)

Present at the Meeting

Mayor Barbarann Keffer
CAO Vincent A Rongione, Esq. (Excused)
Deputy CAO Alison Dobbins
Alexis Cicchitti, Chief Municipal Clerk (Excused)
Solicitor Courtney Richardson
Mike Galante, Township Engineer
David Haman, Treasurer

Guests

Floyd A. Wise, Consultant, DCED
Anne Weaver Morrow, Administrative Officer, DCED
Craig Rogers, CFO, UDSD
Tim Brennan, P.E. Principal, Civil Engineer, Nave Newell Associates
John Yurick, P.E., PTOE, PTP, McMahon Associates, Inc.
Kevin R. Godshall, AIA, Principal of GKO Architects

Representatives of the Upper Darby School District:

Dr. Daniel McGarry, Superintendent of UDSD
Craig Harnitckek, Facilities Management
Kimberly Friemuth, Partner, Fox Rothschild LLP
Tim Leaf, Facilities Manager

Rules for Meeting Decorum

“Upper Darby Township Council and Residents will maintain professional respect for each other. Council encourages free speech, however, civility is required which would prohibit threats, profanity, scandalous, impertinent and redundant comment or any comment the discernible purpose of which is to disrupt or prevent the conduct of the business of the meeting”

Presentation by Floyd A. Wise, DCED Consultant- The Study of the Upper Darby Fire Service

***See attached.**

There was discussion between Council, Chief Sawyer, Mr. Wise and Ms. Morrow about implementing the recommendations from Mr. Wise and the cost of this plan. The goal is to implement a plan that complements the size of our Fire Department, the services provided and the size of our community. Ms. Morrow would assist with financial methods to generate funds.

Another aspect of this plan is to bridge the gap between volunteers and career firefighters, by creating an equivalent environment.

Approval of the April 21, 2021 Council Meeting Minutes

**Motion to approve the Minutes for the Meeting on April 21, 2021. SS/RG
Moved and seconded. All in favor. The Minutes are approved.**

Public Forum (On video)

Terry Bradley of 1213 Morgan Avenue pleaded with Council to create new laws that will eradicate diseased trees throughout the Township.

Michael Law of 308 South Bishop Avenue stated that he was upset with his interaction with Human Resources concerning the death benefits and pension from his wife, a former employee of the Township.

The Honorable Mayor Barbarann Keffer

Mayor's Message

May 26, 2021

Good evening everyone,

A couple of updates...

I would like to thank Chief Derrick Sawyer and all of the members of Upper Darby Fire

Department who assisted with the two clean-up events that happened on May 22nd and 23rd, at the 2nd Ward Playground and the Swedish Cabin, respectively.

On a related note, there will be a presentation tonight by the state Department of Community and Economic Development on their fire department management study. My administration applied for and was awarded this opportunity in early 2020, and I would like to thank the career and volunteer firefighters who worked with the DCED over the last year to make the study as thorough as possible. This study will be available on the township website after the meeting tonight.

A little more than a week away, Habitat for Humanity is sponsoring a Rock the Block event in Upper Darby. The targeted areas are the 200 block of Chapman Avenue and the municipal parking lot on the 700 block of Long Lane. I am so grateful that Habitat has chosen Upper Darby as a focus municipality. I would like Habitat to be a consistent partner here. Habitat does not build new housing. This is our inaugural Habitat Rock the Block event and there is an opportunity for members of our community to participate this year.

Tomorrow, we will send a link for volunteer spots for June 5. I do encourage our residents to like and/or follow the township Facebook page.

Delaware County Park Police Superintendent Scott Mahoney passed away last week, and he was laid to rest today. Not only was he a decorated member of our law enforcement community, he was also a volunteer firefighter with the Upper Darby Fire Department and a neighbor. Scott's dedication, professionalism, and kind nature will be greatly missed by all who knew him, and we send our deepest sympathies to his family, friends, and colleagues.

May 8th through 15th was Police Appreciation Week, and I would like to take a moment to formally acknowledge Upper Darby Police Superintendent Tim Bernhardt and the entire department for everything they do to keep our community safe. Their jobs can be difficult even in the best of times, and they conduct themselves with honor and commitment in their efforts to protect the Upper Darby community.

The number of new COVID-19 cases across Delaware County continues to decline and it is important to remain vigilant and protect yourself and your loved ones. Please continue to wear masks as appropriate and mandated by law. If you have not yet received a COVID-19 vaccine, please call 484-276-2100 or visit www.delcopa.gov/vax to register for an appointment. If you need to schedule an appointment and are having any difficulty doing so, please email mayor@upperdarby.org or call 610-734-7625.

Lastly, a reminder that Monday, May 31, is Memorial Day. The Township offices will be closed, and trash and recycling will not be collected that day. I hope everyone has a safe and enjoyable holiday weekend.

Thank you and have a great evening.

Treasurer's Report: David Haman, Treasurer

***See attached**

**Motion to approve the Treasurer's Report: RG/MB: Moved and seconded. All in favor.
The Treasurer's Report is approved.**

President of Council, Laura A. Wentz

LW encouraged everyone to celebrate Memorial Day in honor of our fallen troops.

COMMITTEE REPORTS

Public Safety Committee

Co-Chairs: Danyelle Blackwell & Brian K. Burke

Members: Hafiz Tunis Jr., Matt Silva

Resolution No. 24-21, a Resolution to install stop signs on Llanfair Road at the intersection with Keystone Avenue

Solicitor Richardson gave a brief on Resolution No. 24-21.

**Motion to approve Resolution No. 24-21: RG/SS: Moved and seconded. Eleven in favor.
Resolution No. 24-21 is approved.**

Planning, Zoning and Building Code Committee

Co-Chairs: Robert S. Gwin Jr., & Michelle Billups

Members: Donald P. Bonnett, Hafiz Tunis Jr.

Resolution No. 27-21, a Resolution of Upper Darby Township amending the final subdivision of MC Investments and lot line adjustment for the properties located at 8645 and 8649 West Chester Pike

Solicitor Richardson gave a brief on Resolution No. 27-21.

Motion to approve Resolution No. 27-21: RG/SS: Moved and seconded. Eleven in favor. Resolution No. 27-21 is approved.

Resolution No. 28-21, a Resolution of Upper Darby Township granting preliminary/final land development plan approval to the Upper Darby School District for facilities and transportation building renovations at 8201 N. Lansdowne Avenue

Solicitor Richardson gave a brief on Resolution No. 28-21

Mr. Galante further explained that this Resolution includes two waivers that need Council approval. One of these waivers is to grant the preliminary and final at the same time. Mr. Galante supports this waiver, considering the site improvements and demolition will occur to an *existing* structure. The second waiver is for the roof drains. They will disconnect as many as feasible. The goal is to discharge water onto a pervious surface prior to flowing into the storm system. Therefore, the applicant is taking the majority of the run-off and routing it into a rain garden. Mr. Galante stated that the waiver is warranted.

Motion to approve Resolution No. 28-21 along with two waivers. RG/SS: Moved and seconded.

RG expressed the concerns from the residents about the volume and proximity of the school buses to the neighborhoods. RG also asked if these plans include charging stations.

Mr. Harnitchek responded that the School District has moved the buses to the interior of the property furthest away from the property lines. Furthermore, in effort to keep the noise at a minimum, the reversing alarm would be used during the *return* of the buses, not the early morning departures.

DPB asked if the Administration found a place to relocate the sanitation vehicles. Deputy CAO Dobbins responded that she was not prepared to share this information at this time.

Dr. McGarry announced that there would be a groundbreaking ceremony at Aronimink School on June 8, 2021.

MS called the question. HT/MB: Moved and seconded. All in favor.

A roll call vote was taken. Eight in favor. One opposed (TW). Two excused due to technical difficulties (LF, MB). Resolution No. 28-21, along with two waivers, is approved.

Finance and Appropriations Committee

Co-Chairs: Robert S. Gwin Jr. & Matt Silva

Members: Danyelle Blackwell, Brian K. Burke

Resolution No. 29-12, a Resolution authorizing application to the Greenways, Trails and Recreation Program through the Pennsylvania Department of Community & Economic Development (DCED)

Solicitor Richardson gave a brief on Resolution No. 29-21

Motion to approve Resolution No. 29-21. RG&SS/HT: Moved and seconded.

RG asked if there were any matching funds for this Grant. Mayor Keffer responded that the Administration has budgeted a significant amount of money for the matching funds. The Mayor stated that PECO has donated ten thousand dollars (\$10,000.00), with no strings attached.

Eleven in favor. Resolution No. 29-21 is approved.

Solicitor

Solicitor Richardson reported that they have been working on real estate assessment appeals and several projects with the School District.

Old Business

Nothing to report.

New Business

DPB suggested having the Public Forum before the Public Presentations. He also suggested setting a time limit. LW responded that she would work on a solution.

DPB gave a motion to host an “*in-person*” Council Meeting beginning the next meeting on June 2. TW seconded the motion.

Deputy CAO Dobbins pointed out that the June 2 meeting was advertised as a virtual meeting. LW responded that we do not have enough time to amend the current advertisement for June 2 meeting.

DPB made another motion to host an “*in-person*” meeting for June 16. TW seconded the motion.

LW stated that there would be some type of *live streaming* for our meetings along with the public meetings.

MB called the question. MS seconded. All in favor.

LW opened the floor to vote on DPB’s motion for an “*in-person*” meeting beginning June 16. A roll call vote was taken. Eight opposed. One excused due to technical difficulties (LF). Two in favor (DPB, TW). The motion was denied.

RG stated that there would be a community forum on the Cardington Field on June 7 at 4:00 p.m. Mayor Keffer asked for confirmation that it is an information session about the *possible* construction of a school. LW & MB confirmed it is for the construction of an elementary school.

Adjournment

Motion to adjourn: SS/RG: Moved and seconded. All in favor. Meeting adjourned at 10:32 p.m.

Respectfully submitted,

Alexis Cicchitti

Alexis Cicchitti
Chief Municipal Clerk

AC/cmg

The video of this meeting can be viewed in its entirety on youtube.com/upperdarby.org

RESOLUTION NO. 24-21

WHEREAS, ORDINANCE NO. 1156 OF UPPER DARBY TOWNSHIP PROVIDES THAT TRAFFIC SHALL COME TO A STOP BEFORE ENTERING OR CROSSING CERTAIN STREETS AND HIGHWAYS IN THE TOWNSHIP AND IMPOSES PENALTIES FOR THE VIOLATION THEREOF:

NOW, THEREFORE, BE IT RESOLVED:

THAT ORDINANCE NO. 1156 IS HEREBY AMENDED BY ADDING TO SECTION 1 THE FOLLOWING:

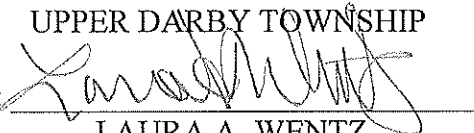
INSTALL STOP SIGNS AT THE FOLLOWING LOCATION:

ON LLANFAIR ROAD AT THE INTERSECTION WITH KEYSTONE AVENUE

RESOLVED THIS 26th DAY OF MAY, A.D., 2021

UPPER DARBY TOWNSHIP

BY:



LAURA A. WENTZ
PRESIDENT OF COUNCIL

ATTEST:



MICHELLE BILLUPS
SECRETARY OF COUNCIL

APPROVED THIS 26th DAY OF MAY, A.D., 2021

BY:


BARBARANN KEFFER, MAYOR

ATTEST:



VINCENT A. RONGIONE, ESQ.
CHIEF ADMINISTRATIVE OFFICE

**UPPER DARBY TOWNSHIP
DELAWARE COUNTY, PENNSYLVANIA**

RESOLUTION NO. 27-21

**A RESOLUTION OF UPPER DARBY TOWNSHIP AMENDING THE FINAL
SUBDIVISION OF MC INVESTMENTS AND LOT LINE ADJUSTMENT FOR THE
PROPERTIES LOCATED AT 8645 AND 8649 WEST CHESTER PIKE**

WHEREAS, Act 247 of 1968, the Pennsylvania Municipalities Planning Code, empowers the governing body of a municipality to regulate subdivisions and land developments within the municipality; and

WHEREAS, Upper Darby Township is desirous of orderly and appropriate land use and development to protect the health, safety and welfare of residents; and

WHEREAS, MC Investments LLC (“Applicant”) is the owner of 8649 West Chester Pike, Upper Darby Township; and

WHEREAS, the Applicant proposes to subdivide its existing lot to convey a portion of an existing building that overhangs the lot line. The existing building faces the Applicant’s property and has historically been used in connection with the Applicant’s property, but is located over the boundary of the adjacent property at 8645 West Chester Pike. The Applicant additionally proposes to reverse subdivide two parcels into one parcel; and

WHEREAS, the Applicant has caused to be prepared and filed with the Township a certain Boundary and Subdivision Plan for the Project dated May 11, 2016, as last revised November 2, 2020 (the “Plan”); and

WHEREAS, the lot line adjustment will create a more conforming lot than what previously existed, and the project has been previously approved by Township Council by Motion on July 20, 2016;


WHEREAS, Applicant now desires Council to approve the Plan pursuant to Section 508 of the Municipalities Planning Code;

NOW, THEREFORE, BE IT RESOLVED by the Upper Darby Township Council that the Plan is hereby granted Subdivision Approval, subject to the satisfaction of the following conditions:

1. Prior to recording the Plan, Applicant must address to the satisfaction of the Township Engineer the comments and conditions contained in the December 1, 2020 MG Engineering review letter to the extent such comments are not already addressed by the latest version of the Plan;
2. A revised, recordable plan shall ultimately be submitted for Township administrative review and approval that addresses all requests for further plan details, additions, corrections, and clarifications set forth in the abovementioned review letter;
3. All outstanding Township fees, Township's engineering fees, and Township's legal fees, and any other professional fees associated with the review and approval of the application and Plan shall be paid in full before the Plan is recorded in accordance with Section 503 of the Pennsylvania Municipalities Planning Code;
4. New deeds for the new lots must be approved by the Township Engineer and thereafter recorded contemporaneously with the recording of the Plans.

This Resolution, and the approvals and conditions contained herein, shall be rescinded automatically upon Applicant's or Applicant's agent's failure to accept, in writing, all conditions herein imposed within seven (7) days of receipt of this Resolution, such acceptance to be evidenced by Applicant's or Applicant's agent's signature below.


ADOPTED and RESOLVED by the Upper Darby Township Council this 26th day of May, 2021.

BY: 
 LAURA A. WENTZ
 President of Council

ATTEST: 
 MICHELLE BILLUPS
 Secretary of Council

Resolution No. 27-21 is hereby approved this 26th day of May, 2021

BY: 
 BARBARANN KEFFER,
 Mayor

ATTEST: 
 VINCENT A. RONGIONE, ESQ.
 Chief Administrative Officer

THE UNDERSIGNED, BEING AN AUTHORIZED SIGNATORY FOR THE APPLICANT, DOES HEREBY ACKNOWLEDGE AND ACCEPT THE APPROVAL OF THE PLAN ISSUED BY COUNCIL AND ACCEPTS THE CONDITIONS CONTAINED WITHIN THIS RESOLUTION. HEREBY REPRESENTS THAT THEY AGREE TO THE PROVISIONS OF THE ABOVE CONDITIONAL PRELIMINARY AND FINAL PLAN APPROVAL RESOLUTION:

For Applicant, MC Investments, LLC:

By: _____

Dated: _____

Print : _____

Title : _____

Attest : _____

Dated: _____

Print : _____

**UPPER DARBY TOWNSHIP
DELAWARE COUNTY, PENNSYLVANIA**

RESOLUTION NO. 28-21

**A RESOLUTION OF UPPER DARBY TOWNSHIP GRANTING
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN APPROVAL TO
THE UPPER DARBY SCHOOL DISTRICT FOR FACILITIES AND
TRANSPORTATION BUILDING RENOVATIONS AT 8201 N. LANSDOWNE AVENUE**

WHEREAS, Act 247 of 1968, the Pennsylvania Municipalities Planning Code, empowers the governing body of a municipality to regulate subdivisions and land developments within the municipality; and

WHEREAS, Upper Darby Township is desirous of orderly and appropriate land use and development to protect the health, safety and welfare of residents; and

WHEREAS, the Upper Darby School District (“Applicant”) is the owner of a certain tract of land with a street address of 8201 North Lansdowne Avenue located in the Township’s C-2 Traditional General Commercial Zoning District, generally utilized as the school district’s facilities and transportation building containing an automobile service center and school district offices, a baseball field, and a school bus depot (including maintenance and repair), being tax parcel number 16-07-00503-00 (“Property”); and

WHEREAS, the Applicant is proposing to redevelop the Property by removing the automobile service center, a portion of the main building, various sheds, and a retaining wall, constructing a rain garden, redeveloping the existing parking lots, constructing a new driveway at Bond Avenue, and reconstructing the curb and sidewalk in certain locations (“Project”); and

WHEREAS, the Applicant has caused to be prepared and filed with the Township a certain preliminary/final land development plan for the Project prepared by Nave Newell, dated November 23, 2020 and last revised March 26, 2021, being Delaware County Planning Department File No. 47-7579-20 (“Plan”); and

WHEREAS, the Delaware County Planning Department has reviewed the Plan and, pursuant to its review letter dated December 17, 2020, recommended that the Plan be approved contingent upon addressing staff comments; and

WHEREAS, Applicant now desires Council to conditionally approve the Plan pursuant to Section 508 of the Pennsylvania Municipalities Planning Code;

NOW, THEREFORE, BE IT RESOLVED by the Upper Darby Township Council, that the Plan is hereby granted Preliminary/Final Land Development Plan Approval subject to the satisfaction of the following conditions:

1. Prior to recording the Plan, Applicant shall address the comments and conditions contained in the April 22, 2021 MG Engineering review letter to the satisfaction of the Township Engineer.
2. Prior to recording the Plan, Applicant shall address all applicable comments contained in the December 17, 2020 Delaware County Planning Department review letter to the satisfaction of the Township Engineer.
3. Prior to recording the Plan, Applicant shall address all applicable comments contained in the April 20, 2021 Albert Federico Consulting, LLC traffic engineering review letter to the satisfaction of the Township Traffic Engineer.
4. Applicant must obtain any necessary approvals and reviews from the Township Engineer, Township Traffic Engineer, Delaware County Planning Department, Pennsylvania DEP, PennDOT, or any other necessary outside agency, and obtain any necessary planning modules, approvals, or permits, before the Plan is recorded.
5. Applicant must complete all required easements and/or maintenance agreements or declarations, including, but not limited to, a stormwater management facilities operation and maintenance agreement, in forms satisfactory to the Township Engineer and Township Solicitor prior to recording the Plan. Applicant will provide all necessary legal descriptions for any necessary easements.
6. A revised, recordable plan shall ultimately be submitted for Township administrative review and approval that addresses all requests for further plan details, additions, corrections, and clarifications set forth in the abovementioned review letters.
7. Prior to recording the Plan, Applicant shall execute a Land Development Agreement and Financial Security Agreement drafted by the Township Solicitor and post financial security in the form of a letter of credit, tri-party agreement/set-aside account, or cash escrow in a form approved by the Township Solicitor.
8. All reasonable outstanding Township fees, Township's engineering fees, and Township's legal fees, and any other professional fees associated with the review and approval of the application and Plans shall be paid in full before the Plan is recorded in accordance with the Pennsylvania Municipalities Planning Code.
9. Prior to recording the Plan, Applicant shall deposit a reasonable sum to be determined by the Township Engineer in a cash escrow with the Township, as to be further described in the Land Development and Financial Security Agreements, for the reimbursement of the Township's reasonable engineering, inspection, legal and related administrative costs and expenses related to the further reviews, inspections, and development of the Project.

Waivers. The following requested waivers from the Township's Subdivision and Land Development Ordinance and Stormwater Ordinance are hereby approved or denied, as indicated:

1. Section 300.1, that the preliminary plan and final plan be considered separate submissions, is hereby:

APPROVED **DENIED**

2. Sections 703.A and 703.C, to permit certain existing roof drains on the Property to continue to remain as installed, when such sections prohibit roof drains from connecting directly to streets, sanitary and storm sewers or roadside ditches, is hereby:

APPROVED **DENIED**

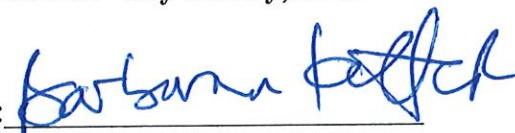
This Resolution shall bind the Applicant, and the Applicant's successors and assigns. This Resolution does not and shall not authorize the construction of improvements or buildings exceeding those shown on the Plans and Applicant shall be required to record the Plan prior to proceeding with any land development. Furthermore, this Resolution, and the approvals and conditions contained herein, shall be rescinded automatically upon Applicant's or Applicant's agent's failure to accept, in writing, all conditions herein imposed within seven (7) days of receipt of this Resolution, such acceptance to be evidenced by Applicant's or Applicant's agent's signature below.

ADOPTED and RESOLVED by the Upper Darby Township Council this 26th day of May, 2021.

BY: 
LAURA A. WENTZ
President of Council

ATTEST: 
MICHELLE BILLUPS
Secretary of Council

Resolution No. 28-21 is hereby approved this 26th day of May, 2021

BY: 
BARBARANN KEFFER
Mayor

ATTEST: 
VINCENT A. RONGIONE, ESQ.
Chief Administrative Officer

THE UNDERSIGNED, BEING AN AUTHORIZED SIGNATORY FOR THE APPLICANT, DOES HEREBY ACKNOWLEDGE AND ACCEPT THE APPROVAL OF THE PLAN ISSUED BY COUNCIL, ACCEPTS THE CONDITIONS CONTAINED WITHIN THIS RESOLUTION, AND HEREBY REPRESENTS THAT THEY AGREE TO THE PROVISIONS OF THE ABOVE PLAN APPROVAL RESOLUTION:

For Applicant: Upper Darby School District

By: _____

Dated _____

Print : _____

Title : _____

Attest : _____

Dated _____

Print : _____

Upper Darby Township
Delaware County, Pennsylvania

RESOLUTION NO. 29-21

A RESOLUTION AUTHORIZING APPLICATION TO THE GREENWAYS, TRAILS AND RECREATION PROGRAM THROUGH THE PENNSYLVANIA DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT (DCED)

WHEREAS, Upper Darby Township, desires to apply for the Greenways, Trails and Recreation Program through the DCED to fund the development of the Cardington Newtown Trail; and

WHEREAS, Upper Darby Township, recognizes that the Greenways, Trails and Recreation Program funding for the Cardington Newtown Trail would be an asset to the township; and

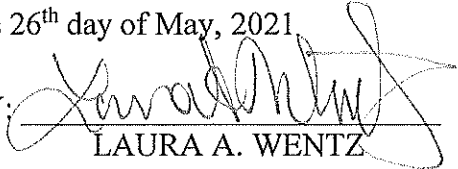
WHEREAS, Upper Darby Township, desires to apply to and requests funding from the DCED Greenways, Trails and Recreation Program to develop of the Cardington Newtown Trail; and

NOW THEREFORE, BE IT RESOLVED THAT:

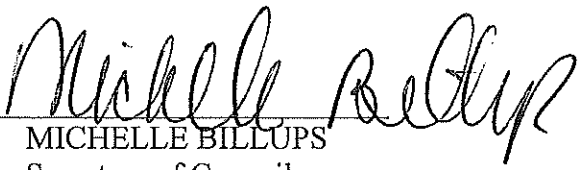
1. The Township is hereby authorized to apply for, execute, and submit an application to the DCED Greenways, Trails and Recreation Program for up to \$250,000.
2. Mayor Barbarann Keffer, or her designee, is authorized to execute all documents and agreements needed to facilitate and assist in obtaining the requested grant.
3. The Township is authorized to provide such assurances, certificates, application fees, and supplemental data or revised data that may be requested in connection with the application and administration of the Greenways, Trails and Recreation Program.

ADOPTED and RESOLVED this 26th day of May, 2021

BY:


LAURA A. WENTZ
President of Council

ATTEST:


MICHELLE BILLUPS
Secretary of Council

Resolution No. 29-21 is hereby approved this 26th day of May, 2021

BY:


BARBARANN KEFFER
Mayor

ATTEST:


VINCENT A. RONGIONE, ESQ.
Chief Administrative Officer



pennsylvania
DEPARTMENT OF COMMUNITY
& ECONOMIC DEVELOPMENT

UPPER DARBY TOWNSHIP, DELAWARE COUNTY FIRE STUDY PRESENTATION

March 2021

Floyd A. Wise III, Peer Consultant
Governor's Center for Local Government Services

CONTENTS TO BE COVERED

- Executive Summary
- Analysis of Operations
- Organizational Management
- Equipment
- Facilities
- Recommendations

- ISO rating system
- Upper Darby Twp. rating of 3/3X on July 28, 2014
- Benefits of an improved ISO rating

RECOMMENDATION #1

Standards of Cover

- Risk, hazard, and value evaluation (RHAVE)
- Drexel Hill Station #20 as a central firehouse
- Apparatus numbers per NFPA 1710 (3 or 4)
- Staffing options and cost (21-man, 19-man, 16-man) comparisons
- Shift rotations to cover 24 hours 7 day per week

RECOMMENDATION #2

Chain of Command

- Assistant Chief position
- Deputy to manage fire prevention/education (1)
- Deputy Chiefs of Operations (3)
- Volunteer Fire Officer numbers and integration

RECOMMENDATION #3

Standard operating procedures and work rule development

- Policies not provided and liability reduction
- Policy creation

RECOMMENDATION #4

Adoption of capital improvement budgets for apparatus and facility needs

- Apparatus in most need of replacement; Leasing
- Policy development and front-line timeline replacements
- Financial planning for replacement
- Fleet reduction potentials
- Fire house needs

RECOMMENDATION #5

Development of detailed training plan applicable to all staff members

- ISO training analysis
- Minimal training requirements
- Could not identify true number of qualified volunteers
- Types of training based on rank, company level, multicompany, shift wide development

RECOMMENDATION #6

Service growth delivery of prevention, education, investigation, and special operations

- Implementation of division labor
- Building shell inspections
- Certificate of occupancy inspections
- Licensing inspections
- Complaint inspections
- Nighttime inspections
- Re-inspections of buildings
- Substandard or vacant building inspections
- Fire protection system inspections
- Routine inspections of all “inspectable” occupancies
- Mutual aid and regional sharing of services
- Training requirements
- Investment in specialized equipment and transport methods

RECOMMENDATION #7

Volunteer recruitment and retention as well as diversity initiatives

- Data on loss of volunteerism
- Potential methods to attract volunteers
- Strategies to enhance diversity recruitment

RECOMMENDATION #8

Develop township relationship with volunteer agencies and examine monthly pay out systems for building use, maintenance, and weekend staffing

- Audit for past and current use
- Leasing agreements
- Current Township responsibilities (insurance, apparatus, workers comp, fuel, maintenance management)

QUESTIONS



Floyd A. Wise III, Peer Consultant
Governor's Center for Local Government Services

For further assistance, contact Anne Weaver Morrow
Local Government Policy Specialist

717-720-7384

aweavermor@pa.gov



pennsylvania
DEPARTMENT OF COMMUNITY
& ECONOMIC DEVELOPMENT

OVERVIEW OF OPERATING REVENUES and EXPENSES

Year To Date, April 30, 2021

BANKING RECAP

Operating Funds Balance 4/30/2021	\$ 43,174,925
Operating Funds Balance 3/31/2021*	\$ 36,581,538
Operating Funds Balance 12/31/2020	\$ 5,394,429
Change in Operating Funds in April 2021	\$ 6,593,387
Change in Operating Funds Year-to-Date	\$ 37,780,496

OPERATIONS Thru April 30, 2021

REVENUES	April Actual	YTD Actual	YTD Budget	% of YTD		% of Annual	
				Budget	Annual Budget	Budget	Budget
Real Property Taxes	\$ 9,488,729	\$ 49,627,732	\$ 45,419,315	109%	\$ 55,855,000	88.85%	
Business & Other Taxes	\$ 2,258,201	\$ 2,533,298	\$ 2,344,565	108%	\$ 4,949,168	51.19%	
Licenses & Permits	\$ 146,399	\$ 821,479	\$ 1,199,846	68%	\$ 3,592,800	22.86%	
Trash & Sewer Fees	\$ 2,420,080	\$ 6,939,877	\$ 6,494,897	107%	\$ 14,950,000	46.42%	
Grants & State Aid	\$ 134,100	\$ 936,672	\$ 920,839	102%	\$ 6,390,492	14.66%	
Reimbursement from Other Municipalities	\$ 259,577	\$ 606,512	\$ 453,506	134%	\$ 1,875,000	32.35%	
Other*	\$ 452,528	\$ 6,005,729	\$ 1,210,682	496%	\$ 4,180,160	143.67%	
Total Revenues	\$ 15,159,614	\$ 67,471,299	\$ 58,043,650	116%	\$ 91,792,620	73.50%	
EXPENSES							
Public Safety	\$ 2,194,512	\$ 10,683,418	\$ 11,923,390	90%	\$ 45,009,319	23.74%	
Public Works	\$ 1,554,873	\$ 6,638,402	\$ 6,684,059	99%	\$ 27,540,633	24.10%	
Administrative Services	\$ 119,404	\$ 517,914	\$ 607,364	85%	\$ 2,667,918	19.41%	
License & Inspections	\$ 119,998	\$ 457,436	\$ 636,560	72%	\$ 3,366,957	13.59%	
General Government	\$ 820,977	\$ 3,929,248	\$ 3,919,044	100%	\$ 5,462,948	71.93%	
Debt Service*	\$ 5,014,028	\$ 5,038,778	\$ -		\$ 2,711,027	185.86%	
Other	\$ 459,039	\$ 1,741,649	\$ 1,527,962	114%	\$ 4,971,089	35.04%	
Total Expenses	\$ 10,282,831	\$ 29,006,845	\$ 25,298,379	115%	\$ 91,729,891	31.62%	
Operating Surplus (Deficit)	\$ 4,876,783	\$ 38,464,454	\$ 32,745,271	117%	\$ 62,729		

* Includes \$5,000,000 revenue from TRAN

Treasurer's Report to Upper Darby Township Council

Presented May 26, 2021

For Month-Ended April 30, 2021

This report summarizes the Township's financial condition as of April 30, 2021. It reviews revenues and expenses for the month, ending cash balances, with a performance comparison to April 30, 2020.

Our current Operating budget includes 4 governmental funds, the General Fund, Sewer Fund, Highway Fund, and Sinking Fund.

On April 30th, our Operating funds cash balance was \$43,174,925. Our cash position increased \$6,593,387 over March 31st and \$37,780,496 year-to-date.

April revenues totaled \$15,159,614 against expenses of \$10,282,831, resulting in a \$4,876,783 surplus for the month. Notable events in this net surplus include higher than expected revenues from Business & Other taxes [\$1,111,662], Trash & Sewer Fees [\$483,705], and Reimbursement from Other Municipalities [\$252,777]. The \$5,000,000 TRAN was repaid in April, and this is reflected in the year-to-date revenue and expenses.

April Real Property Tax collections were \$1,824,420 below the monthly forecast; however, this is most likely a timing issue rather than a problem with collections as we have \$4,208,417 surplus year-to-date. We budgeted \$55,855,000 for Real Property Tax collections for the year and have collected 88.85% year-to-date. Uncollected property taxes from prior periods total \$567,713, 18.9% below forecast.

Comparing the 2021 year-to-date results to 2020, 2021 revenues exceed 2020 revenues by \$9,911,025, while YTD 2021 expenses are \$2,210,149 below 2020. With 33% of the year on the books, we have collected 73.5% of our expected revenue for the year and expended 31.6% of our annual Operating budget. We are tracking better than we budgeted and better compared to a year ago, hence, our financial health is good.



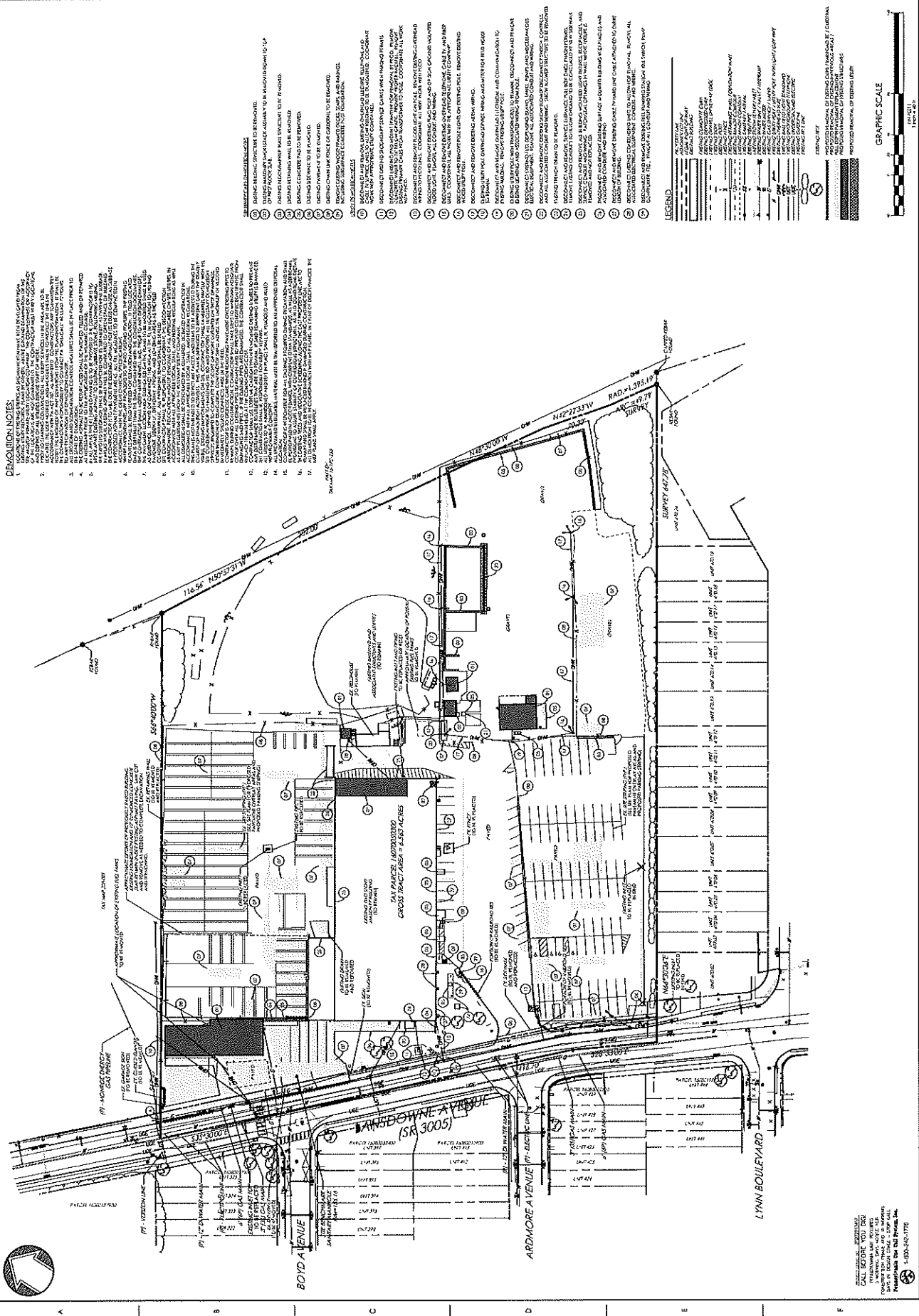
NO.	DATE	DESCRIPTION
001	11/02/2020	ISSUED FOR PERMIT
002	11/02/2020	ISSUED FOR PERMIT
003	11/02/2020	ISSUED FOR PERMIT
004	11/02/2020	ISSUED FOR PERMIT
005	11/02/2020	ISSUED FOR PERMIT
006	11/02/2020	ISSUED FOR PERMIT
007	11/02/2020	ISSUED FOR PERMIT
008	11/02/2020	ISSUED FOR PERMIT
009	11/02/2020	ISSUED FOR PERMIT
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011	11/02/2020	ISSUED FOR PERMIT
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013	11/02/2020	ISSUED FOR PERMIT
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015	11/02/2020	ISSUED FOR PERMIT
016	11/02/2020	ISSUED FOR PERMIT
017	11/02/2020	ISSUED FOR PERMIT
018	11/02/2020	ISSUED FOR PERMIT
019	11/02/2020	ISSUED FOR PERMIT
020	11/02/2020	ISSUED FOR PERMIT



UPPER DARY SCHOOL DISTRICT
 FACILITIES AND TRANSPORTATION BUILDING RENOVATIONS
 8201 N. LANSDown AVE
 UPPER DARY TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

DATE: 11/02/2020
 TIME: 1:47 PM
 SCALE: 1" = 40'
 SHEET: C2.0
 TOTAL SHEETS: 3 OF 15

DEMOLITION PLAN



DEMOLITION NOTES:

1. DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101. DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
2. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
3. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
4. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
5. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
6. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
7. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
8. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
9. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
10. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
12. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
13. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
14. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
15. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
16. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
17. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
18. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
19. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.
20. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP) REGULATIONS, TITLE 25, CHAPTER 102, AND THE FEDERAL REGULATIONS, 40 CFR PART 101.

LEGEND

- 1. DEMOLITION
- 2. RETAIN
- 3. EXISTING
- 4. PROPOSED
- 5. UTILITIES
- 6. EROSION CONTROL
- 7. PAVING
- 8. CURB
- 9. SIDEWALK
- 10. DRIVEWAY
- 11. DRIVE
- 12. PARKING
- 13. LANDSCAPE
- 14. TREE
- 15. SHrub
- 16. FENCE
- 17. SIGN
- 18. LIGHT
- 19. UTILITY
- 20. EROSION CONTROL
- 21. PAVING
- 22. CURB
- 23. SIDEWALK
- 24. DRIVEWAY
- 25. DRIVE
- 26. PARKING
- 27. LANDSCAPE
- 28. TREE
- 29. SHrub
- 30. FENCE
- 31. SIGN
- 32. LIGHT

GRAPHIC SCALE

1" = 40'



UPPER DARY SCHOOL DISTRICT
 FACILITIES AND TRANSPORTATION BUILDING RENOVATIONS
 8201 N. LANSDown AVE
 UPPER DARY TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

REV	DATE	BY	DESCRIPTION
1	07/27/11	J. J. K...	PER TOWNSHIP REVIEW COMMENTS
2	08/17/11	J. J. K...	PER TOWNSHIP REVIEW COMMENTS
3	08/17/11	J. J. K...	PER TOWNSHIP REVIEW COMMENTS
4	08/17/11	J. J. K...	PER TOWNSHIP REVIEW COMMENTS
5	08/17/11	J. J. K...	PER TOWNSHIP REVIEW COMMENTS



UPPER DARBY TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

SITE PLAN

FACILITIES AND TRANSPORTATION BUILDING RENOVATIONS
8201 N. LANSDOWNE AVE.

DATE: 07/27/2011
DRAWN: J. J. K...
CHECKED: J. J. K...
SCALE: 1" = 40'

C3.0
4 of 15

ZONING DATA

PERMITTED USES:
 COMMERCIAL OFFICE BUILDING
 COMMERCIAL SERVICE BUILDING
 PROFESSIONAL OFFICE BUILDING
 RETAIL STORE
 RESTAURANT
 SERVICE GARAGE
 STORAGE YARD
 TRUCK TRAILER YARD
 WAREHOUSE
 WORKSHOP

REQUIREMENTS:
 MAXIMUM GROUND COVER: 25%
 MAXIMUM STORY HEIGHT: 35'-0"
 MINIMUM SETBACK: 5'-0"
 MAXIMUM PARALLEL PARKING SPACES: 100

WAIVER REQUESTS:

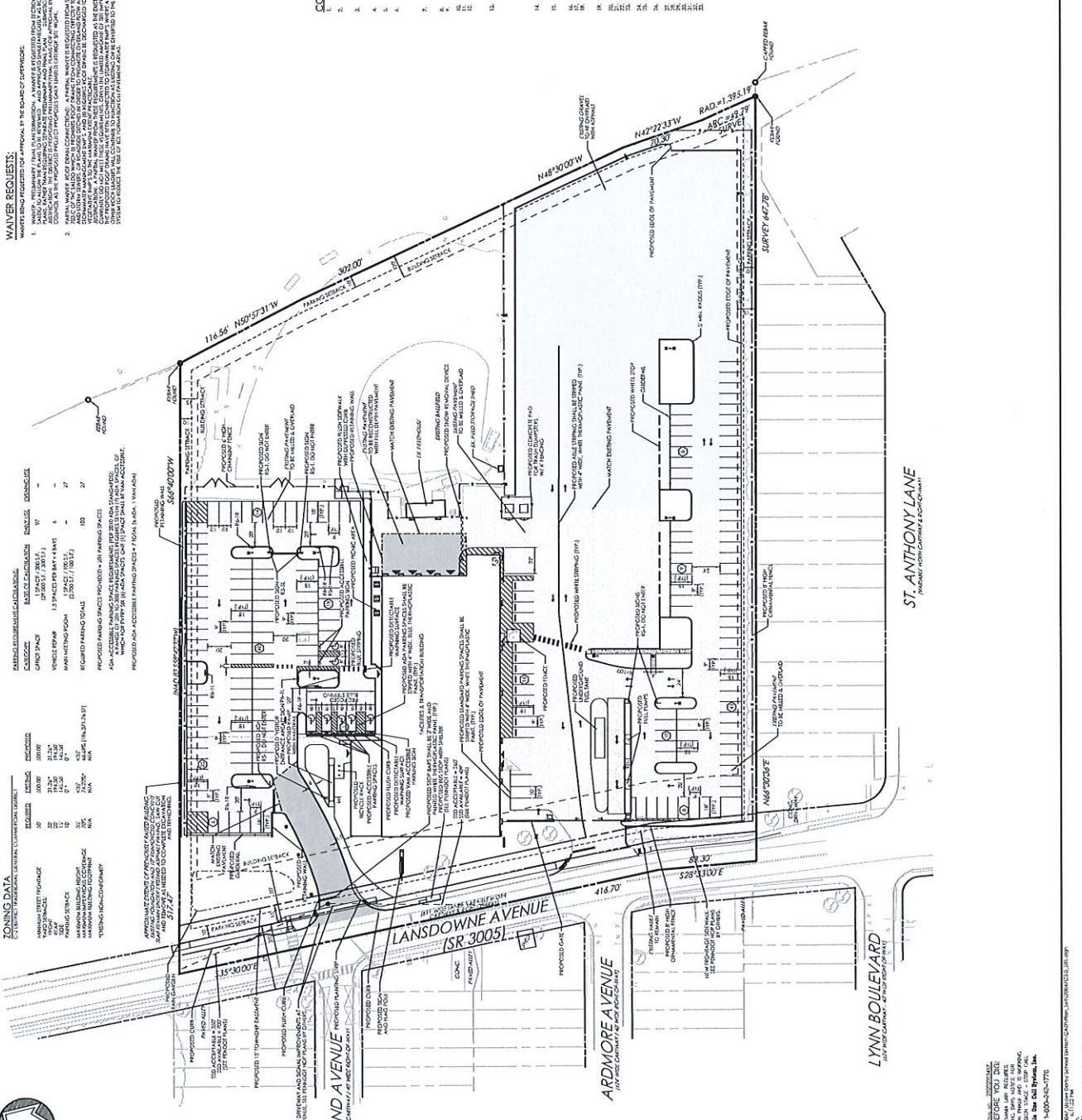
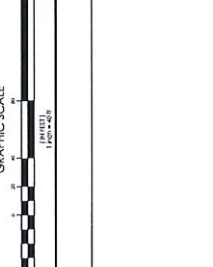
1. WAIVER REQUESTED FOR A PROVISION IN THE CODE OF ORDINANCES...

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS...
2. ALL DIMENSIONS AND SPACINGS SHALL BE AS NOTED ON THIS PLAN AND ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE...
3. ALL FOUNDATIONS SHALL BE CONSTRUCTED ON UNFINISHED GRADE UNLESS NOTED OTHERWISE...
4. ALL EXTERIOR FINISHES SHALL BE AS NOTED ON THIS PLAN AND ALL EXTERIOR FINISHES SHALL BE TO FACE UNLESS NOTED OTHERWISE...
5. ALL INTERIOR FINISHES SHALL BE AS NOTED ON THIS PLAN AND ALL INTERIOR FINISHES SHALL BE TO FACE UNLESS NOTED OTHERWISE...
6. ALL ROOFING SHALL BE AS NOTED ON THIS PLAN AND ALL ROOFING SHALL BE TO FACE UNLESS NOTED OTHERWISE...
7. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS...
8. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS...
9. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS...
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21. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS...
22. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS...
23. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS...
24. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS...
25. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND SPECIFICATIONS...



- LEGEND**
- PROPOSED FLOOR FINISH
 - PROPOSED ROOF FINISH
 - PROPOSED EXTERIOR FINISH
 - PROPOSED INTERIOR FINISH
 - PROPOSED MECHANICAL, ELECTRICAL AND PLUMBING (MEP) WORK
 - PROPOSED CONCRETE WORK
 - PROPOSED IRON WORK
 - PROPOSED LIGHT FIXTURES
 - PROPOSED FURNITURE
 - PROPOSED SIGNAGE
 - PROPOSED LANDSCAPE
 - PROPOSED DRIVEWAY
 - PROPOSED SIDEWALK
 - PROPOSED PAVEMENT
 - PROPOSED CURB
 - PROPOSED GUTTER
 - PROPOSED DRAINAGE
 - PROPOSED RETAINING WALL
 - PROPOSED FENCE
 - PROPOSED UTILITY
 - PROPOSED ASPHALT
 - PROPOSED LIGHT FIXTURES
 - PROPOSED FURNITURE
 - PROPOSED SIGNAGE
 - PROPOSED LANDSCAPE
 - PROPOSED DRIVEWAY
 - PROPOSED SIDEWALK
 - PROPOSED PAVEMENT
 - PROPOSED CURB
 - PROPOSED GUTTER
 - PROPOSED DRAINAGE
 - PROPOSED RETAINING WALL
 - PROPOSED FENCE
 - PROPOSED UTILITY
 - PROPOSED ASPHALT



ST. ANTHONY LANE
(MAKES RIGHT TURN AND RIGHT-OF-WAY)

LYNN BOULEVARD
(MAKES RIGHT TURN AND RIGHT-OF-WAY)

ARDMORE AVENUE
(MAKES RIGHT TURN AND RIGHT-OF-WAY)

BOND AVENUE
(MAKES RIGHT TURN AND RIGHT-OF-WAY)

LANSDOWNE AVENUE (SR 3005)

CALL BEFORE YOU DIG
 800-4-A-SHIELD
 800-482-6297

PHOTO COURTESY OF THE TOWNSHIP OF DARBY

NEWELL
Nave

1000 N. State Street
P.O. Box 100
Upper Darby, PA 19084
610-426-1111

DATE	DESCRIPTION	BY	CHKD
11/21/11	PER TOWNSHIP REVIEW COMMENTS		
11/17/11	REVISED		
11/15/11	ISSUED FOR PERMITS		
11/15/11	ISSUED FOR PERMITS		

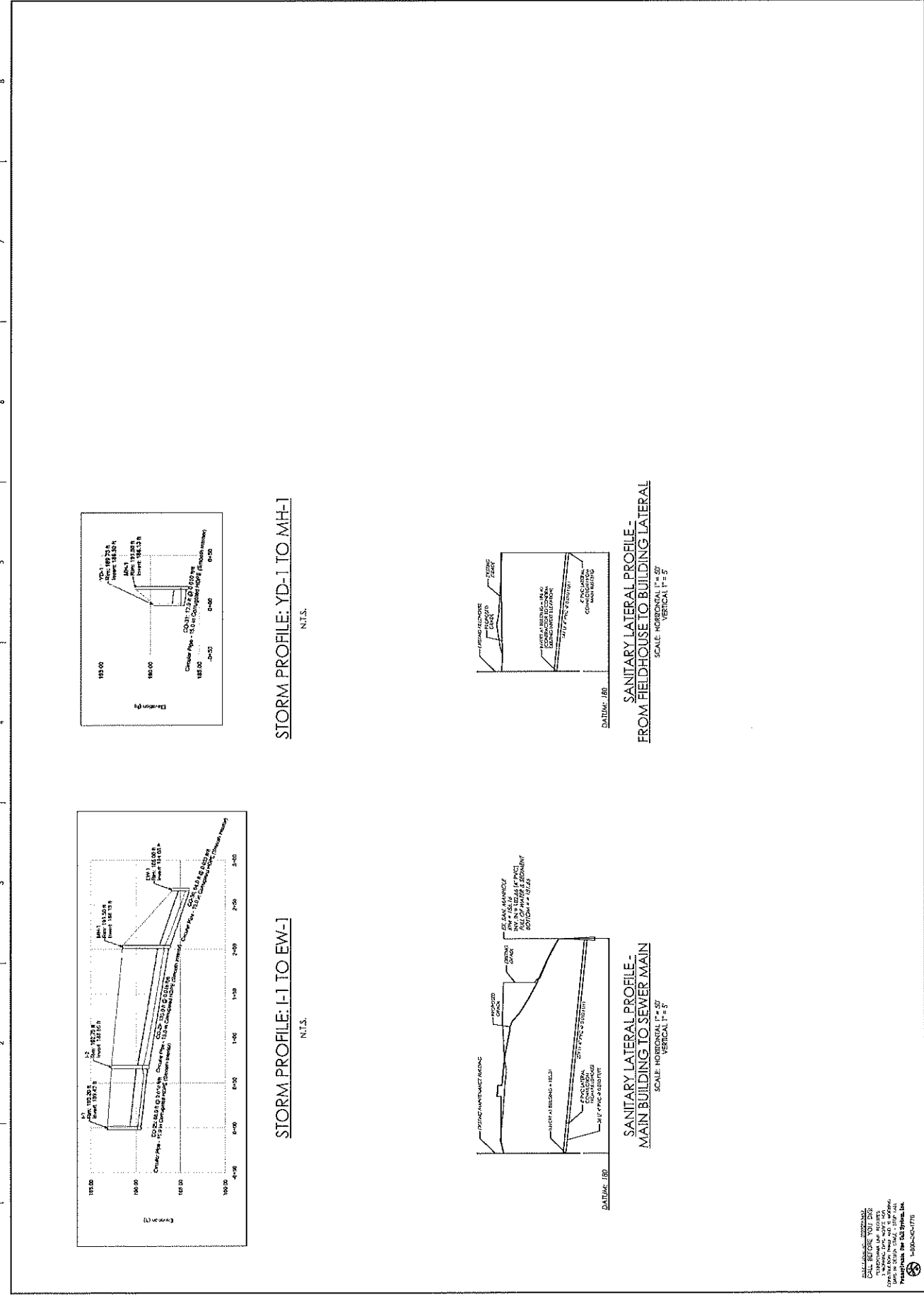


UTILITY PROFILE SHEET
 UPPER DARBY SCHOOL DISTRICT
 FACILITIES AND TRANSPORTATION BUILDING RENOVATIONS
 8201 N. LANSDOWNE AVE.
 UPPER DARBY TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

PROJECT NO.	20100087
DATE	03/01/2011
SCALE	AS NOTED 1"=8'
SHEET NO.	13
TOTAL SHEETS	13

C4.1

1 of 13



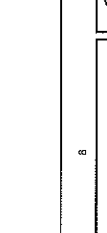
CALL BEFORE YOU DIG
 1-800-4-A-SHIELD
 1-800-4-4-SHIELD
 1-800-4-4-SHIELD
 1-800-4-4-SHIELD
 1-800-4-4-SHIELD

11/21/11

6111:59 PM

DATE: 03/21/2020
DRAWN: [Name]
CHECKED: [Name]
SCALE: 1" = 40'

7 of 15
C5.0



DATE	DESCRIPTION
03/21/2020	ISSUED FOR PERMIT
03/12/2020	REVISED
03/12/2020	ISSUED FOR PERMIT

UPPER DARBY TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA
FACILITIES AND TRANSPORTATION BUILDING RENOVATIONS
8201 N. LANSOWNE AVE.
LANDSCAPE PLAN

PAUL E. LEFAR, JR.
LANDSCAPE ARCHITECT

1. ALL PLANTING SHALL BE INSTALLED AS SHOWN.
2. ALL PLANTING SHALL BE MAINTAINED AS SHOWN.
3. ALL PLANTING SHALL BE WATERED AS SHOWN.
4. ALL PLANTING SHALL BE MULCHED AS SHOWN.
5. ALL PLANTING SHALL BE PROTECTED AS SHOWN.
6. ALL PLANTING SHALL BE REPAIRED AS SHOWN.
7. ALL PLANTING SHALL BE REPLACED AS SHOWN.
8. ALL PLANTING SHALL BE REMOVED AS SHOWN.
9. ALL PLANTING SHALL BE STORED AS SHOWN.
10. ALL PLANTING SHALL BE DELIVERED AS SHOWN.

LANDSCAPE REQUIREMENTS

REQUIREMENT	REMARKS
1. ALL PLANTING SHALL BE INSTALLED AS SHOWN.	
2. ALL PLANTING SHALL BE MAINTAINED AS SHOWN.	
3. ALL PLANTING SHALL BE WATERED AS SHOWN.	
4. ALL PLANTING SHALL BE MULCHED AS SHOWN.	
5. ALL PLANTING SHALL BE PROTECTED AS SHOWN.	
6. ALL PLANTING SHALL BE REPAIRED AS SHOWN.	
7. ALL PLANTING SHALL BE REPLACED AS SHOWN.	
8. ALL PLANTING SHALL BE REMOVED AS SHOWN.	
9. ALL PLANTING SHALL BE STORED AS SHOWN.	
10. ALL PLANTING SHALL BE DELIVERED AS SHOWN.	

LANDSCAPE SPECIFICATIONS

ITEM	DESCRIPTION	QUANTITY	UNIT
1	PLANTING		
2	PLANTING		
3	PLANTING		
4	PLANTING		
5	PLANTING		
6	PLANTING		
7	PLANTING		
8	PLANTING		
9	PLANTING		
10	PLANTING		

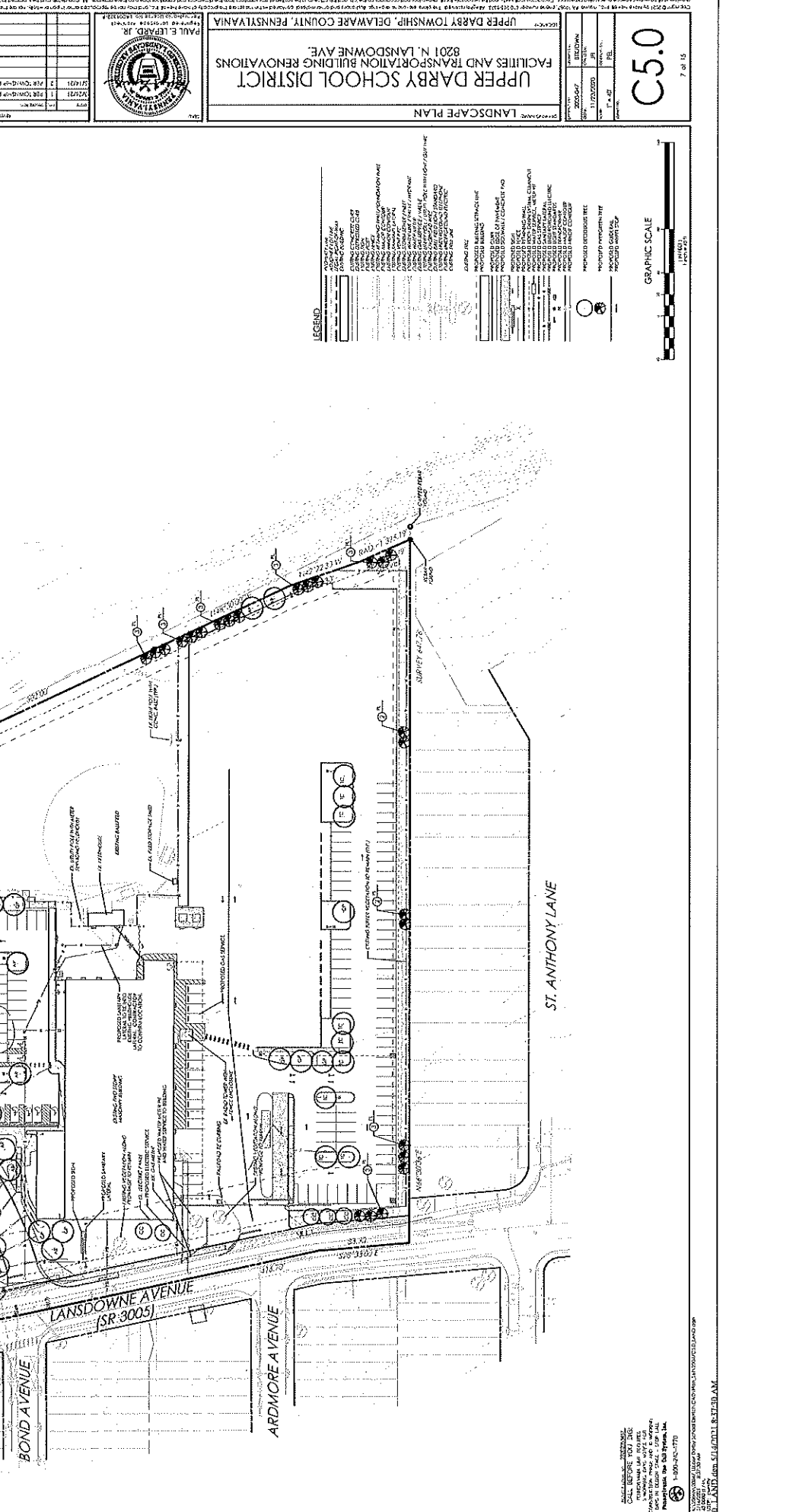
LEGEND

- PLANTING
- PLANTING
- PLANTING
- PLANTING
- PLANTING
- PLANTING
- PLANTING
- PLANTING
- PLANTING
- PLANTING

GRAPHIC SCALE

1" = 40'

0 10 20 30 40 50



CALL BEFORE YOU DIG
IN PENNSYLVANIA, THE PUBLIC UTILITIES COMMISSION (PUC) HAS A "ONE CALL" PROGRAM. CALL 800-647-8863 TO REGISTER YOUR UTILITY LOCATIONS AND TO GET A "PASS" TO DIG. FOR MORE INFORMATION, VISIT US AT [WWW.PUC.PA.GOV](http://www.puc.pa.gov).

PROJECT: UPPER DARBY TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA
FACILITIES AND TRANSPORTATION BUILDING RENOVATIONS
8201 N. LANSOWNE AVE.
LANDSCAPE PLAN

DATE: 03/21/2020
DRAWN: [Name]
CHECKED: [Name]

NEWELL

1000 N. MARKET ST. SUITE 100
PHILADELPHIA, PA 19107
TEL: 215-592-1100

NO.	DESCRIPTION	DATE
001	ISSUED FOR PERMITS	08/15/00
002	ISSUED FOR PERMITS	08/15/00
003	ISSUED FOR PERMITS	08/15/00
004	ISSUED FOR PERMITS	08/15/00
005	ISSUED FOR PERMITS	08/15/00
006	ISSUED FOR PERMITS	08/15/00
007	ISSUED FOR PERMITS	08/15/00
008	ISSUED FOR PERMITS	08/15/00
009	ISSUED FOR PERMITS	08/15/00
010	ISSUED FOR PERMITS	08/15/00

UPPER DARBY TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

FACILITIES AND TRANSPORTATION BUILDING RENOVATIONS

8201 N. LANSDOWNE AVE

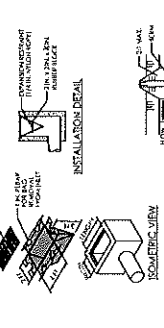
EROSION & SEDIMENTATION CONTROL DETAIL SHEET



IMMEDIATE ACTION REQUIRED

C6.1

10 OF 15



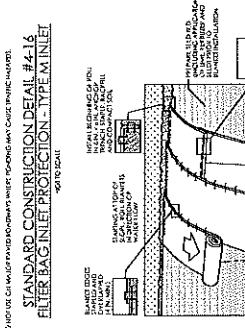
**STANDARD CONSTRUCTION DETAIL #A1.6
FILTER BAG INLET PROTECTION - TYPE 'A' INLET**

1. FILTER BAG SHALL BE MADE OF 100% POLYPROPYLENE WITH A FILTER EFFICIENCY OF 95% FOR PARTICLES 10 MICRONS AND LARGER.

2. FILTER BAG SHALL BE SUPPORTED BY A FRAME OF 2" X 4" LUMBER WITH 1/2" X 1/2" BRACKETS ATTACHED TO THE EXTERIOR FACE OF THE BAG.

3. THE BAG SHALL BE SECURED TO THE FRAME WITH 1/2" X 1/2" BRACKETS AND 1/4" X 1/2" BOLTS.

4. THE BAG SHALL BE REPLACED WHEN IT BECOMES SOiled OR DAMAGED.



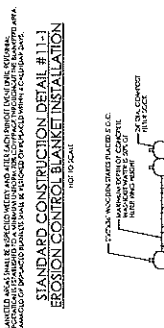
**STANDARD CONSTRUCTION DETAIL #B.1
ROCK CONSTRUCTION ENTRANCE**

1. CONSTRUCTION SHALL BE MADE OF 18" X 18" X 12" GRANITE OR EQUIVALENT NATURAL ROCK.

2. THE ROCK SHALL BE SET IN A 4" THICK BED OF 3/4" SAND.

3. THE ROCK SHALL BE SET IN A 4" THICK BED OF 3/4" SAND.

4. THE ROCK SHALL BE SET IN A 4" THICK BED OF 3/4" SAND.



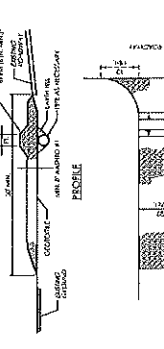
**STANDARD CONSTRUCTION DETAIL #C.1
COMPOSITE FILTER SOCK**

1. THE SOCK SHALL BE MADE OF 18" X 18" X 12" GRANITE OR EQUIVALENT NATURAL ROCK.

2. THE SOCK SHALL BE SET IN A 4" THICK BED OF 3/4" SAND.

3. THE SOCK SHALL BE SET IN A 4" THICK BED OF 3/4" SAND.

4. THE SOCK SHALL BE SET IN A 4" THICK BED OF 3/4" SAND.



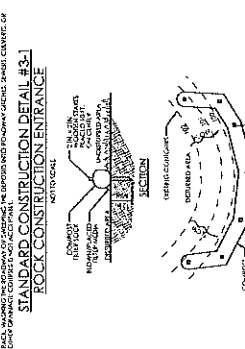
**CONTROLLED NON-DISCHARGE
CONCRETE WASH OUT**

1. THE WASH OUT SHALL BE MADE OF 4" THICK CONCRETE WITH 1/2" X 1/2" REINFORCEMENT.

2. THE WASH OUT SHALL BE SET IN A 4" THICK BED OF 3/4" SAND.

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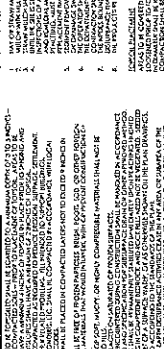
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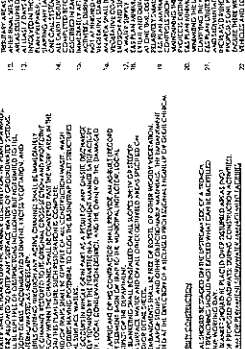
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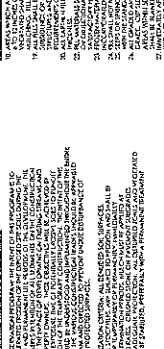
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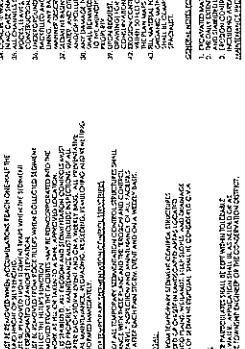
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POST-CONSTRUCTION STORMWATER MANAGEMENT NOTES:

1. THE USER SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT STRUCTURES AND DEVICES. THE USER SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT STRUCTURES AND DEVICES. THE USER SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT STRUCTURES AND DEVICES.
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INSTALLATION:

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MAINTENANCE:

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REPLACEMENT AND DISPOSAL OF EXPOSED FIBER AND COLLECTED MATERIAL:

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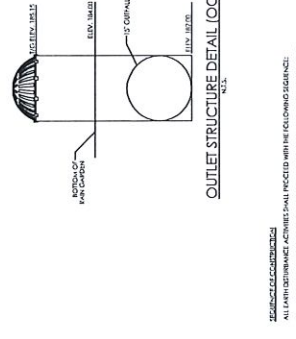
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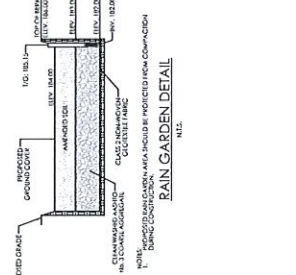
OUTLET STRUCTURE DETAIL (OC-1)



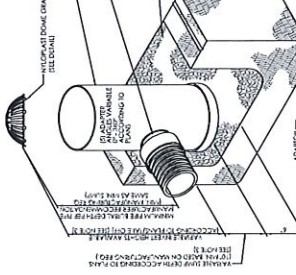
RAIN GARDEN DETAIL



NYLOPLAST 24" DRAIN BASIN



ALTERNATE ONE BAR OPTIONS FOR 24" DIAMETER BASINS

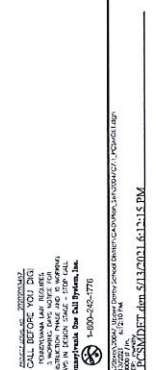
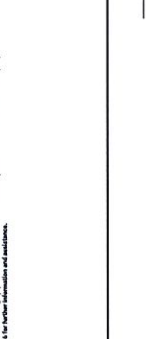
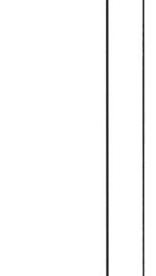
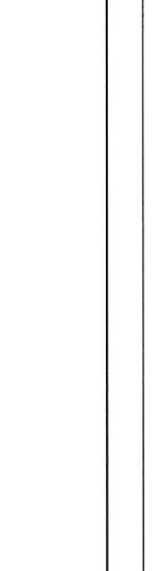
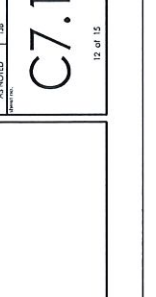
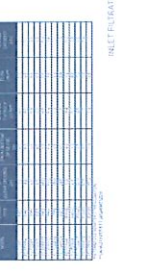
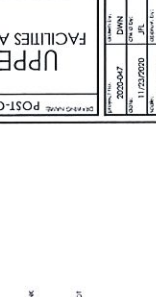
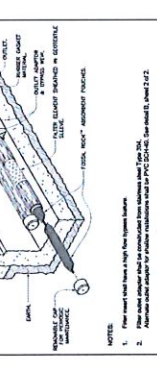
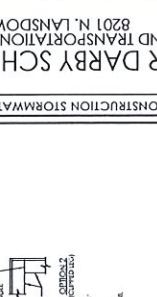
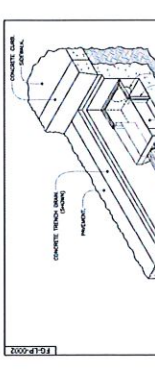
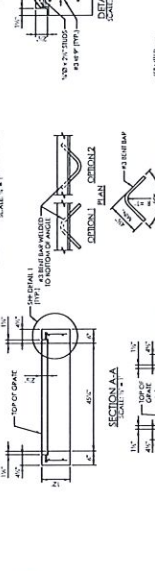
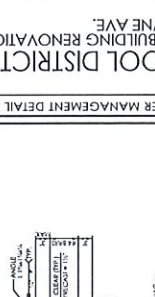
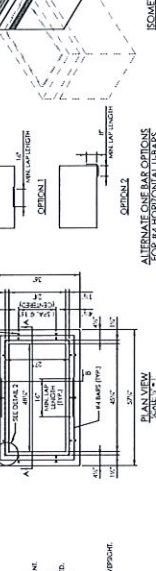
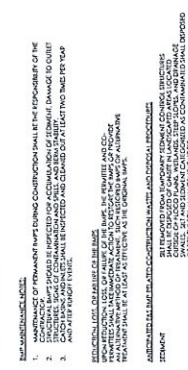
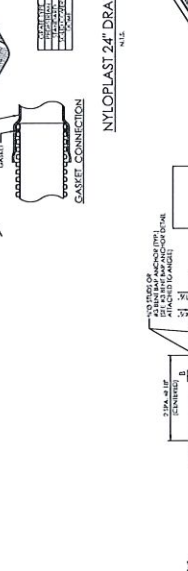


TYPE M/INLET / CONCRETE TOP UNIT



SEAL OPTIONS

OPTION	DESCRIPTION
1	Standard Seal
2	Alternative Seal
3	Another Seal Option
4	Yet Another Seal Option
5	Final Seal Option



1
2
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8

1
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NO.	DATE	DESCRIPTION
1	11/14/12	ISSUED FOR PERMITS
2	11/14/12	ISSUED FOR PERMITS
3	11/14/12	ISSUED FOR PERMITS
4	11/14/12	ISSUED FOR PERMITS
5	11/14/12	ISSUED FOR PERMITS
6	11/14/12	ISSUED FOR PERMITS
7	11/14/12	ISSUED FOR PERMITS
8	11/14/12	ISSUED FOR PERMITS

UPPER DARBY TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

TIMOTHY J. BRENNAN

POST-CONSTRUCTION STORMWATER MANAGEMENT DETAIL SHEET

UPPER DARBY SCHOOL DISTRICT

FACILITIES AND TRANSFORMATION BUILDING RENOVATIONS

8201 N. LANSDOWNE AVE.

DATE: 11/14/2012
DRAWN: JTB
SCALE: AS NOTED

C7.1

12 OF 15

FLOGARD®

Trench Drain Filter

SCOPE:

The FLOGARD® Trench Drain Filter is designed to filter debris from stormwater runoff before it enters the stormwater collection system. The filter is made of a durable, non-toxic material that can withstand the harsh conditions of a stormwater collection system. The filter is easy to install and maintain, and it provides a long service life.

RECOMMENDED FREQUENCY OF SERVICE:

The FLOGARD® Trench Drain Filter should be inspected and cleaned regularly. The frequency of service will depend on the amount of debris that is expected to enter the stormwater collection system. In general, the filter should be inspected and cleaned at least once per year.

INSTALLATION:

The FLOGARD® Trench Drain Filter is installed in a trench that is excavated to a depth of 4 inches below the finished grade. The filter is placed in the trench and secured with a concrete curb. The trench is then filled with a 4-inch layer of sand and a 4-inch layer of soil. The finished grade is restored to the original condition.

MAINTENANCE:

The FLOGARD® Trench Drain Filter should be inspected and cleaned regularly. The frequency of service will depend on the amount of debris that is expected to enter the stormwater collection system. In general, the filter should be inspected and cleaned at least once per year.

REPLACEMENT AND DISPOSAL OF EXPOSED FIBER AND COLLECTED MATERIAL:

The FLOGARD® Trench Drain Filter is made of a durable, non-toxic material that can withstand the harsh conditions of a stormwater collection system. The filter is easy to install and maintain, and it provides a long service life. The filter should be replaced and disposed of properly when it is no longer usable.

CONTACT INFORMATION:

FLOGARD®
1-800-455-1770

NEWELL

1-800-455-1770

NEWELL

1-800-455-1770

NEWELL

1-800-455-1770

NEWELL

1-800-455-1770

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NEWELL

1-800-455-1770

Table with 4 columns: NO., DATE, REVISION, DRAWN BY. Includes revision notes for items 1 through 4.

NEWELL
NEWELL CONSULTANTS
1000 MARKET STREET, SUITE 200
PHILADELPHIA, PA 19102
TEL: 215-592-9000
WWW.NEWELLCONSULTANTS.COM

6 INCH REVEAL CURB
1. REVEAL CURB SHALL BE CONCRETE ON A 4" MIN. SAND FILL. THE CURB SHALL BE 6" HIGH AND 6" WIDE AT THE TOP. THE CURB SHALL BE SET ON A 4" MIN. SAND FILL. THE CURB SHALL BE SET ON A 4" MIN. SAND FILL.

CHAIN LINK FENCE DETAIL
1. CHAIN LINK FENCE SHALL BE 42" HIGH AND 4" WIDE. THE FENCE SHALL BE SET ON A 4" MIN. SAND FILL. THE FENCE SHALL BE SET ON A 4" MIN. SAND FILL.

AREA CONCRETE PAD DETAIL
1. AREA CONCRETE PAD SHALL BE 4" THICK AND 4" WIDE. THE PAD SHALL BE SET ON A 4" MIN. SAND FILL. THE PAD SHALL BE SET ON A 4" MIN. SAND FILL.

SEWER LATERAL DETAIL
1. SEWER LATERAL SHALL BE 4" DIA. AND 4" DEEP. THE LATERAL SHALL BE SET ON A 4" MIN. SAND FILL. THE LATERAL SHALL BE SET ON A 4" MIN. SAND FILL.

TRASH ENCLOSURE AND PUMP STATION
1. TRASH ENCLOSURE SHALL BE 4" THICK AND 4" WIDE. THE ENCLOSURE SHALL BE SET ON A 4" MIN. SAND FILL. THE ENCLOSURE SHALL BE SET ON A 4" MIN. SAND FILL.

ENCLOSURE FENCE WITH FABRIC SLOTS DETAIL
1. ENCLOSURE FENCE SHALL BE 4" THICK AND 4" WIDE. THE FENCE SHALL BE SET ON A 4" MIN. SAND FILL. THE FENCE SHALL BE SET ON A 4" MIN. SAND FILL.

TRASH ENCLOSURE LAYOUT DETAIL
1. TRASH ENCLOSURE LAYOUT SHALL BE 4' X 4'. THE ENCLOSURE SHALL BE SET ON A 4" MIN. SAND FILL. THE ENCLOSURE SHALL BE SET ON A 4" MIN. SAND FILL.

CONCRETE SIDEWALK DETAIL
1. CONCRETE SIDEWALK SHALL BE 4" THICK AND 4" WIDE. THE SIDEWALK SHALL BE SET ON A 4" MIN. SAND FILL. THE SIDEWALK SHALL BE SET ON A 4" MIN. SAND FILL.

DO NOT ENTER SIGN
1. DO NOT ENTER SIGN SHALL BE 18" X 24". THE SIGN SHALL BE SET ON A 4" MIN. SAND FILL. THE SIGN SHALL BE SET ON A 4" MIN. SAND FILL.

TYPICAL KEystone WALL SECTION DETAIL
1. TYPICAL KEystone WALL SECTION SHALL BE 4" THICK AND 4" WIDE. THE WALL SHALL BE SET ON A 4" MIN. SAND FILL. THE WALL SHALL BE SET ON A 4" MIN. SAND FILL.

STOP BAR
1. STOP BAR SHALL BE 4" THICK AND 4" WIDE. THE BAR SHALL BE SET ON A 4" MIN. SAND FILL. THE BAR SHALL BE SET ON A 4" MIN. SAND FILL.

PAVEMENT SAWCUT DETAIL
1. PAVEMENT SAWCUT SHALL BE 4" THICK AND 4" WIDE. THE SAWCUT SHALL BE SET ON A 4" MIN. SAND FILL. THE SAWCUT SHALL BE SET ON A 4" MIN. SAND FILL.

BENCH REVEAL CURB
1. BENCH REVEAL CURB SHALL BE 4" THICK AND 4" WIDE. THE CURB SHALL BE SET ON A 4" MIN. SAND FILL. THE CURB SHALL BE SET ON A 4" MIN. SAND FILL.

TYPICAL FULL DEPTH ON-SITE PAVING SECTION
1. TYPICAL FULL DEPTH ON-SITE PAVING SECTION SHALL BE 4" THICK AND 4" WIDE. THE SECTION SHALL BE SET ON A 4" MIN. SAND FILL. THE SECTION SHALL BE SET ON A 4" MIN. SAND FILL.

HEAVY DUTY CONCRETE DUMPSIE PAD PAVEMENT SECTION
1. HEAVY DUTY CONCRETE DUMPSIE PAD PAVEMENT SECTION SHALL BE 4" THICK AND 4" WIDE. THE SECTION SHALL BE SET ON A 4" MIN. SAND FILL. THE SECTION SHALL BE SET ON A 4" MIN. SAND FILL.

CONCRETE EXPANSION JOINTS
1. CONCRETE EXPANSION JOINTS SHALL BE 4" THICK AND 4" WIDE. THE JOINTS SHALL BE SET ON A 4" MIN. SAND FILL. THE JOINTS SHALL BE SET ON A 4" MIN. SAND FILL.

VISITOR ENTRANCE HEAD SIGN
1. VISITOR ENTRANCE HEAD SIGN SHALL BE 4" THICK AND 4" WIDE. THE SIGN SHALL BE SET ON A 4" MIN. SAND FILL. THE SIGN SHALL BE SET ON A 4" MIN. SAND FILL.

ROOF DRAIN
1. ROOF DRAIN SHALL BE 4" THICK AND 4" WIDE. THE DRAIN SHALL BE SET ON A 4" MIN. SAND FILL. THE DRAIN SHALL BE SET ON A 4" MIN. SAND FILL.

WALKWAY
1. WALKWAY SHALL BE 4" THICK AND 4" WIDE. THE WALKWAY SHALL BE SET ON A 4" MIN. SAND FILL. THE WALKWAY SHALL BE SET ON A 4" MIN. SAND FILL.

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NO.	DATE	DESCRIPTION
1	11/14/11	ISSUED FOR PERMIT
2	11/14/11	ISSUED FOR PERMIT
3	11/14/11	ISSUED FOR PERMIT
4	11/14/11	ISSUED FOR PERMIT
5	11/14/11	ISSUED FOR PERMIT
6	11/14/11	ISSUED FOR PERMIT
7	11/14/11	ISSUED FOR PERMIT
8	11/14/11	ISSUED FOR PERMIT
9	11/14/11	ISSUED FOR PERMIT
10	11/14/11	ISSUED FOR PERMIT

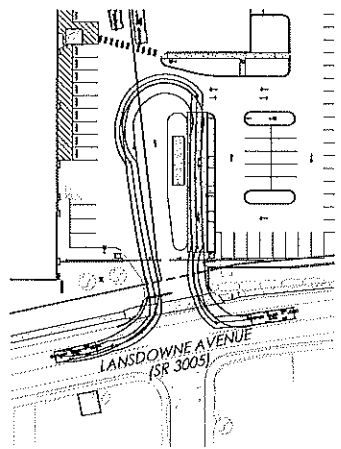


VEHICULAR TURNING PLAN
 UPPER DARBY SCHOOL DISTRICT
 FACILITIES AND TRANSPORTATION BUILDING RENOVATIONS
 8201 N. LANSDOWNE AVE.
 UPPER DARBY TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

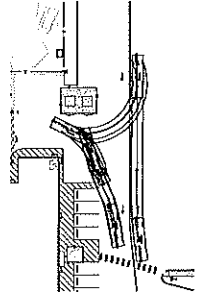
PROJECT NO.	2009047
DATE	11/14/11
SCALE	1" = 40'
SHEET NO.	14 OF 15

C9.0

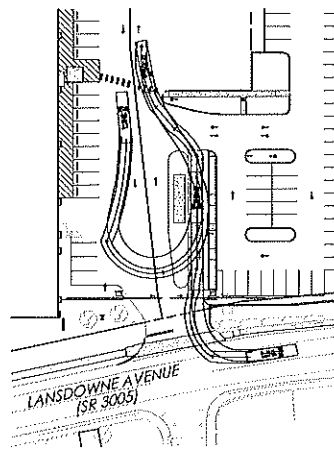
14 OF 15



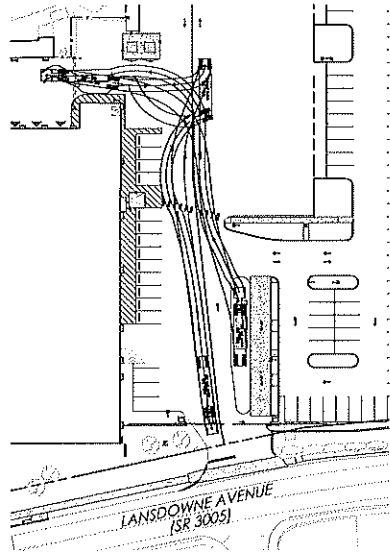
GARBAGE TRUCK TURNING MOVEMENT



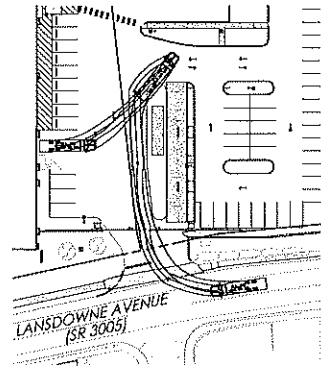
GARBAGE TRUCK TURNING MOVEMENT



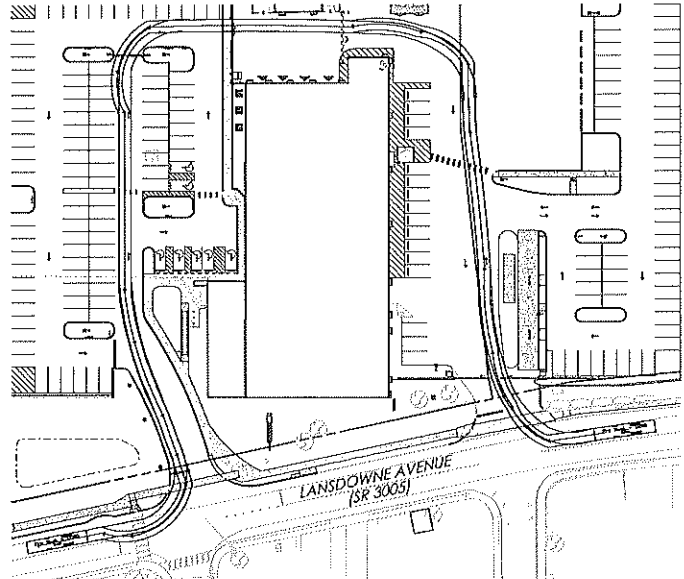
BUS TURNING MOVEMENT



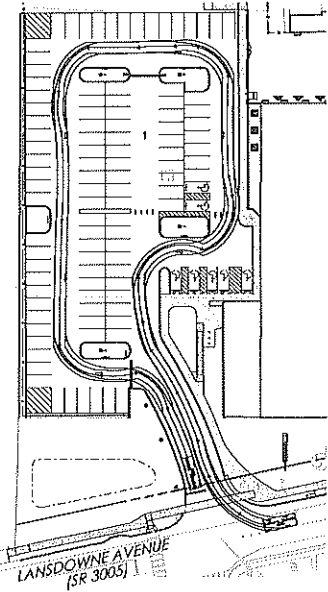
FUEL TRUCK TURNING MOVEMENT



DELIVERY TRUCK TURNING MOVEMENT



FIRE TRUCK TURNING MOVEMENT



AMBULANCE TURNING MOVEMENT



NOTE: THE QUEUED VEHICLE SHOWS APPROXIMATELY THE LOCATION OF A TYPICAL AMBULANCE AND THEREFORE WAS DIMENSIONED TO PROVIDE A DEPICTION OF THE VEHICULAR MOVEMENT AS SHOWN.

